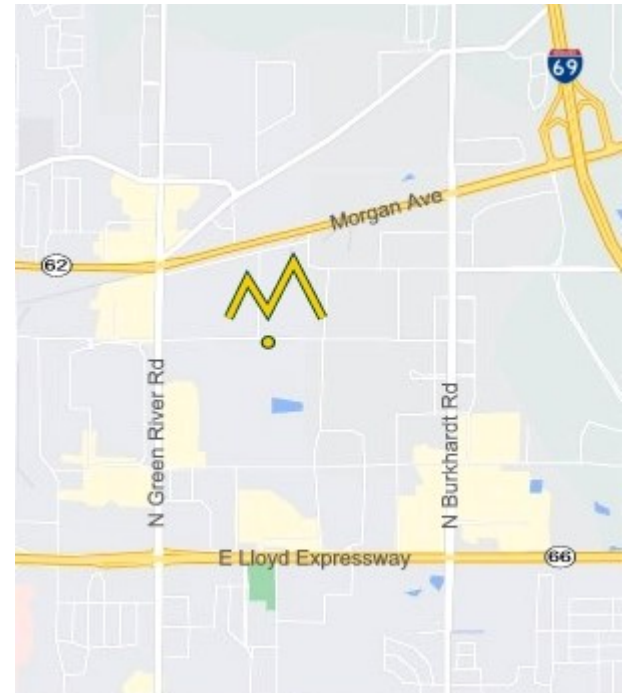


FOR LEASE | VOGEL BUSINESS PARK

5401 VOGEL ROAD
EVANSVILLE, IN 47715

EXECUTIVE SUMMARY



OFFERING SUMMARY

Available SF:	1,700 - 2,000 SF
Lease Rate:	\$10.50 SF/yr (NNN)
NNN Expenses:	CAM: \$0.49 SF/yr Taxes: \$1.33 SF/yr Insurance: <u>\$0.18 SF/yr</u> \$2.00 SF/yr
Building Size:	45,122 SF
Lot Size:	3.54 AC
Parking:	216 spaces
Zoning:	C-4

PROPERTY OVERVIEW

Vogel Business Park is an eight-building, multi-tenant office park situated on 3.54 acres on Evansville's east side, providing convenient access to Green River and Burkhardt Roads, as well as the Lloyd Expressway and I-69.

PROPERTY HIGHLIGHTS

- Professionally managed with beautifully maintained grounds and pylon signage
- Perfect for professional services, such as accounting, engineering, insurance or health care
- Ample and convenient on-site parking
- Available for immediate occupancy
- Join other tenants including: Army Career Center, Peabody Investments Corp., Wessler Engineering, Field & Main Insurance, Shelter Insurance and many more

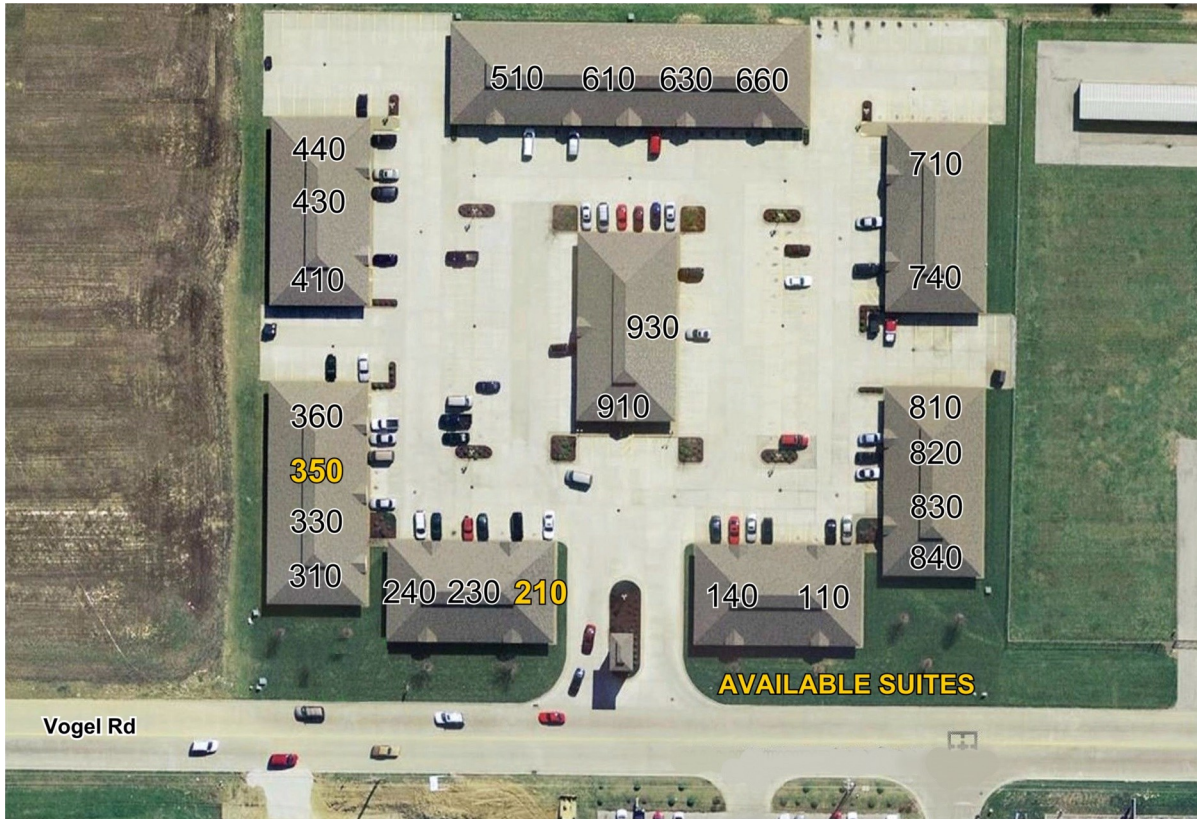
SCOTT HYATT, CCIM
812.430.4989
shyatt@summitrealestate.us



FOR LEASE | VOGEL BUSINESS PARK

5401 VOGEL ROAD
EVANSVILLE, IN 47715

AVAILABLE SPACE



SUITE	SIZE (SF)	LEASE RATE	DESCRIPTION
Suite 210	2,000 SF	\$10.50 SF/yr, NNN	2 offices, conference room, reception, kitchenette, open work area
Suite 350	1,700 SF	\$10.50 SF/yr, NNN	3 offices, conference room, kitchenette

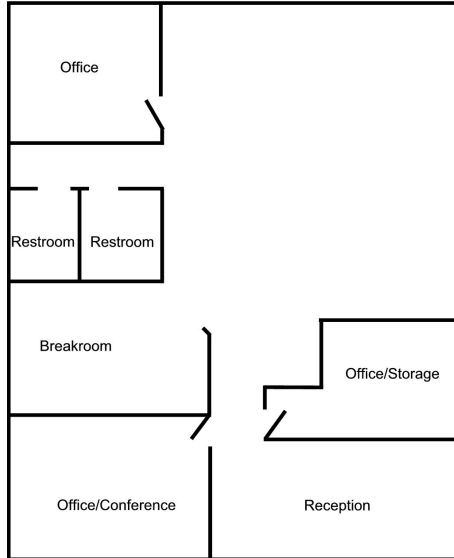
SCOTT HYATT, CCIM
812.430.4989
shyatt@summitrealestate.us

SUMMIT
REAL ESTATE SERVICES
THE PEAK OF PROFESSIONALISM.

FOR LEASE | VOGEL BUSINESS PARK

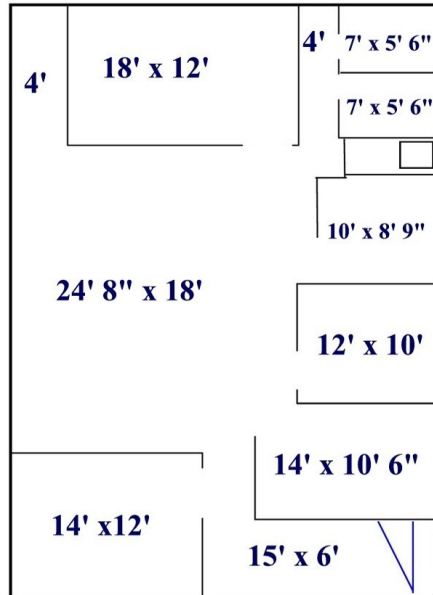
5401 VOGEL ROAD
EVANSVILLE, IN 47715

FLOOR PLANS



1

SUITE 210
2,000 SF



2

SUITE 350
1,700 SF

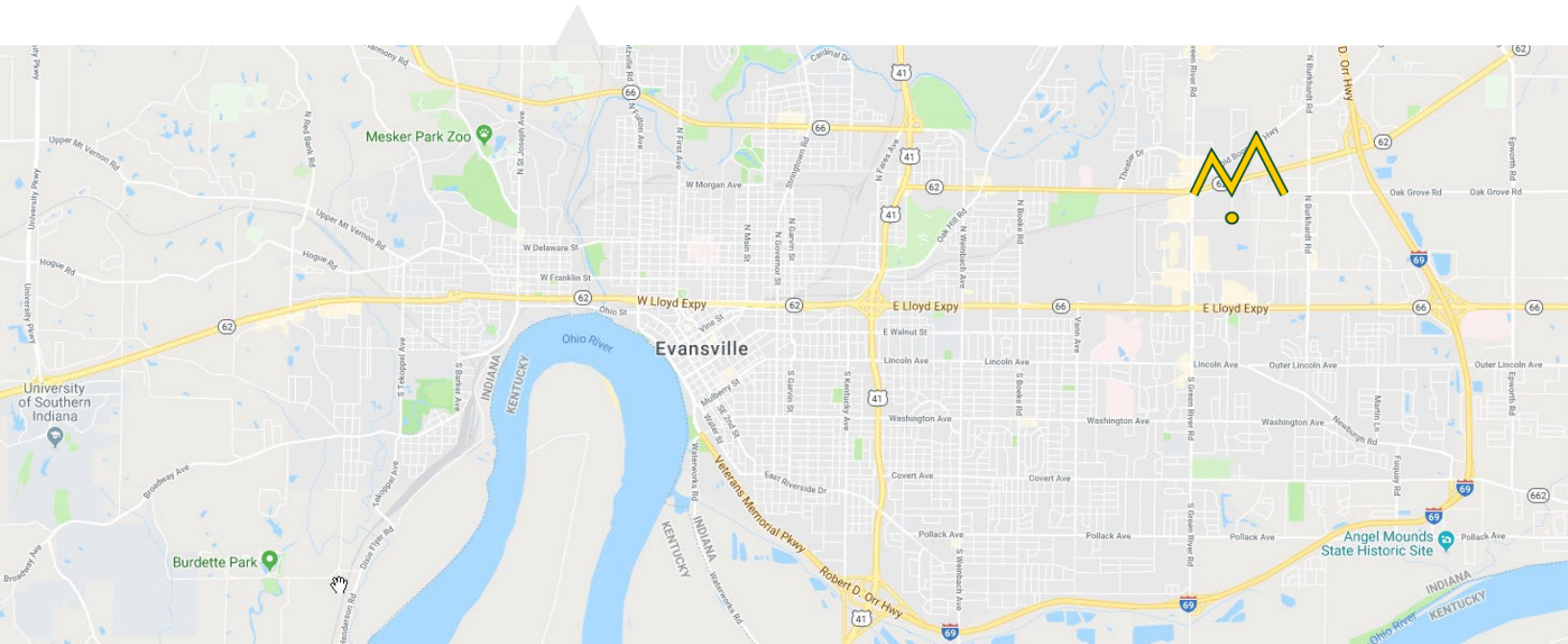
SCOTT HYATT, CCIM
812.430.4989
shyatt@summitrealestate.us



FOR LEASE | VOGEL BUSINESS PARK

5401 VOGEL ROAD
EVANSVILLE, IN 47715

FLOOR PLANS / LOCATION



SCOTT HYATT, CCIM
812.430.4989
shyatt@summitrealestate.us

